

ROOF REPLACEMENT PROJECT

ROBBINS LIBRARY

700 MASSACHUSETTS AVENUE
ARLINGTON, MASSACHUSETTS

BID NUMBER: 13-06



APRIL 4, 2013

RUSSO BARR ASSOCIATES, INC.
33 CENTER STREET, 2ND FLOOR
BURLINGTON, MASSACHUSETTS 01803
TEL: 781.273.1537
FAX: 781.273.1695
EMAIL: INFO@RUSSOBARR.COM

LIST OF DRAWINGS	
T-1	TITLE SHEET
S-1	SITE PLAN
R-1	ROOF AREA PLAN
R-2	SLATE ROOFING DETAILS
R-3	SLATE ROOFING DETAILS

RUSSO BARR ASSOCIATES

33 Center Street, 2nd Floor, Burlington, MA 01803

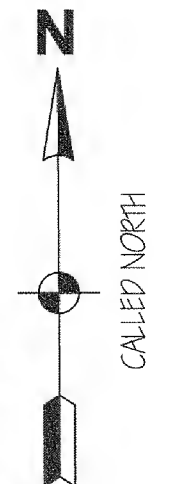
ROBBINS LIBRARY - BID NO. 13-06

700 MASSACHUSETTS AVENUE
ARLINGTON, MASSACHUSETTS
ROOF REPLACEMENT PROJECT

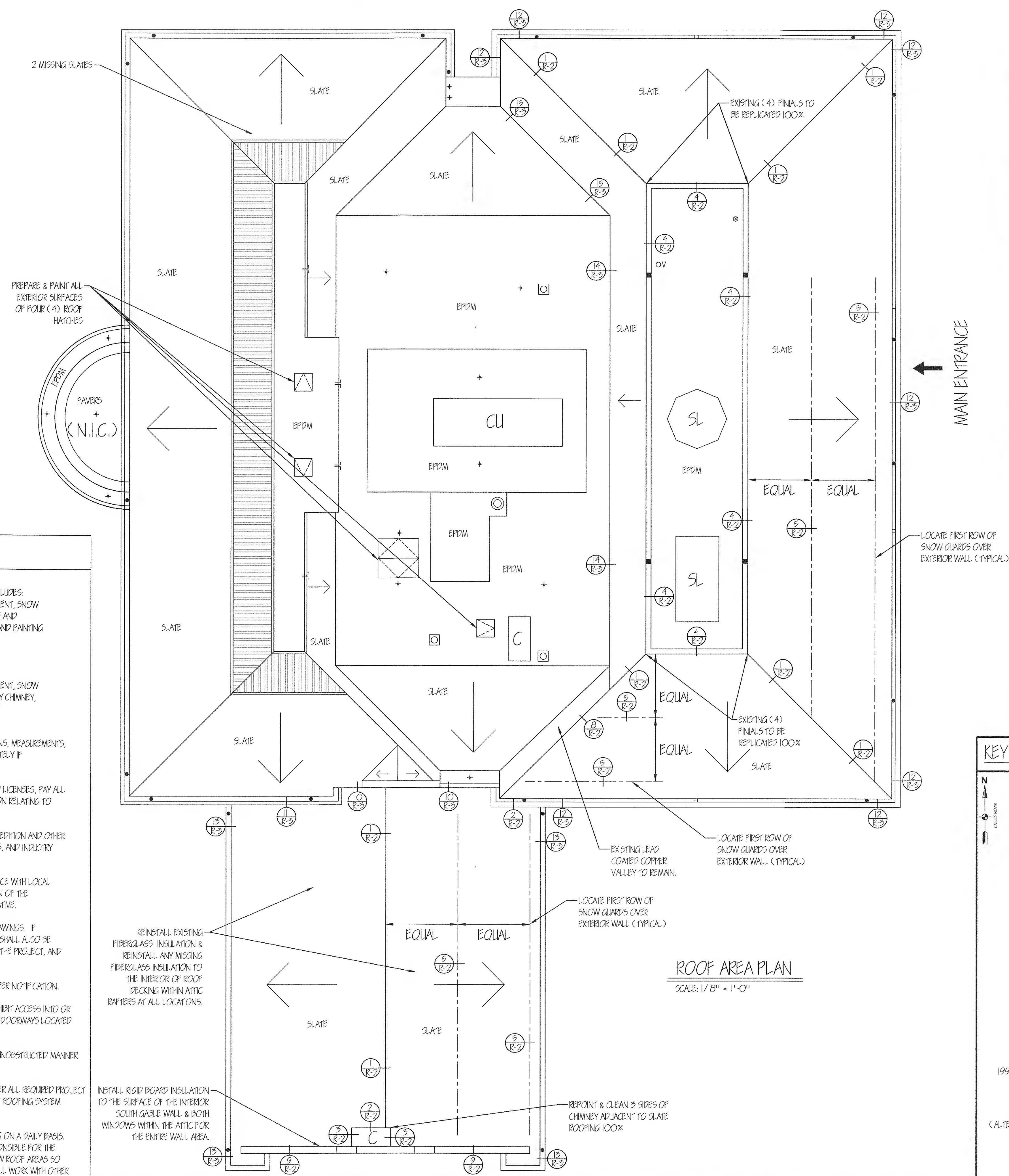
TITLE SHEET

DATE	04.04.13
SCALE	AS NOTED
DRAWN BY / CHECKED BY	jrw/MJF
PROJECT NO	2013004.00
DRAWING NO	T-1

LEGEND	
SYMBOL	DESCRIPTION
	ROOF DRAIN
	VENT PIPE
	HOT PIPE
	CAPPED OFF PIPE
	EXHAUST FAN
	ROOF HATCH
	CHILLER UNIT
	SKYLIGHT
	SPILL OUT SCUPPER
	THRU-WALL SCUPPER
	CHIMNEY
	SLOPE DIRECTION DOWN
	GUTTER & DOWNSPOUT
	GUTTER EXPANSION JOINT
	NEW SNOW PIPE RAIL SYSTEM
	LOUWER VENT



← MASSACHUSETTS AVENUE →

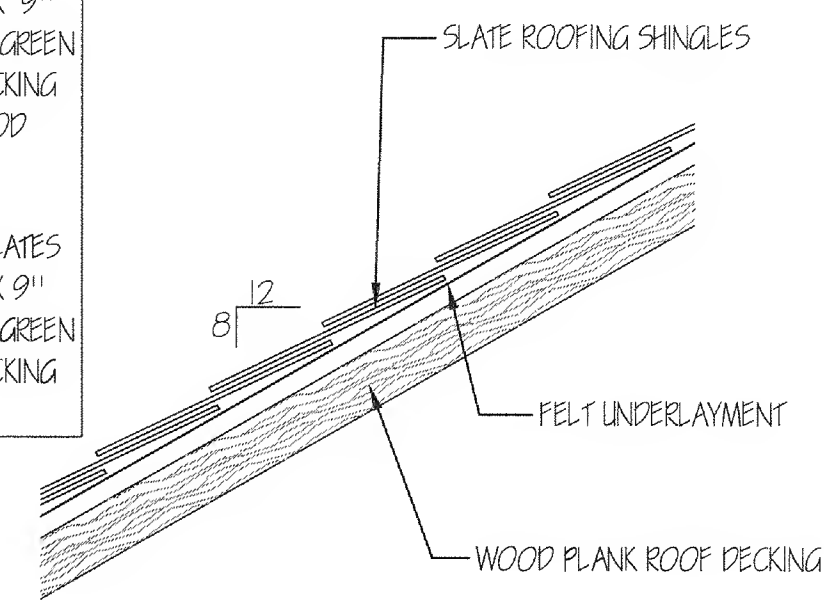


ROOF AREA PLAN

SCALE: 1/8" = 1'-0"

EXISTING ROOF COMPOSITION

NOTES:
1. 1892 ORIGINAL BUILDING: SLATES ARE 1/2" THICK X 19" LONG X 9" WIDE & ARE UNFADING GRAY/ GREEN SLATES. THE WOOD ROOF DECKING IS A TONGUE & GROOVE WOOD PLANK.
2. 1931 ADDITION BUILDING: SLATES ARE 1/4" THICK X 19" LONG X 9" WIDE & ARE UNFADING GRAY/ GREEN SLATES. THE WOOD ROOF DECKING IS A WOOD PLANK.

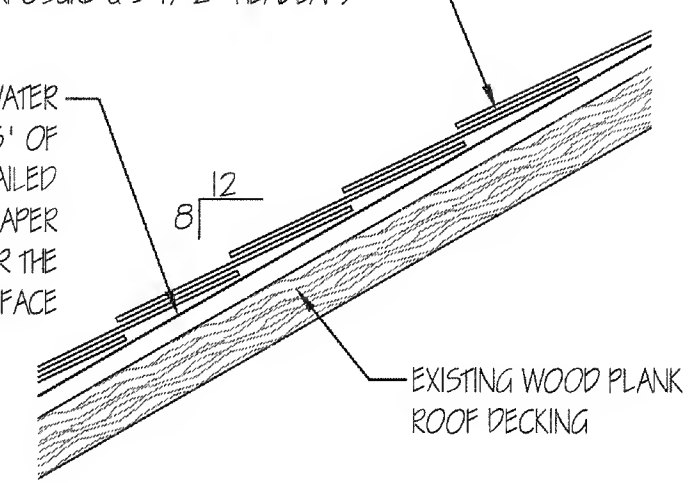


TYPICAL CROSS SECTION DETAIL OF EXISTING SLATE ROOFING SYSTEM ON 1892 ORIGINAL BUILDING & 1931 ADDITION
N.T.S.

NEW ROOF COMPOSITION

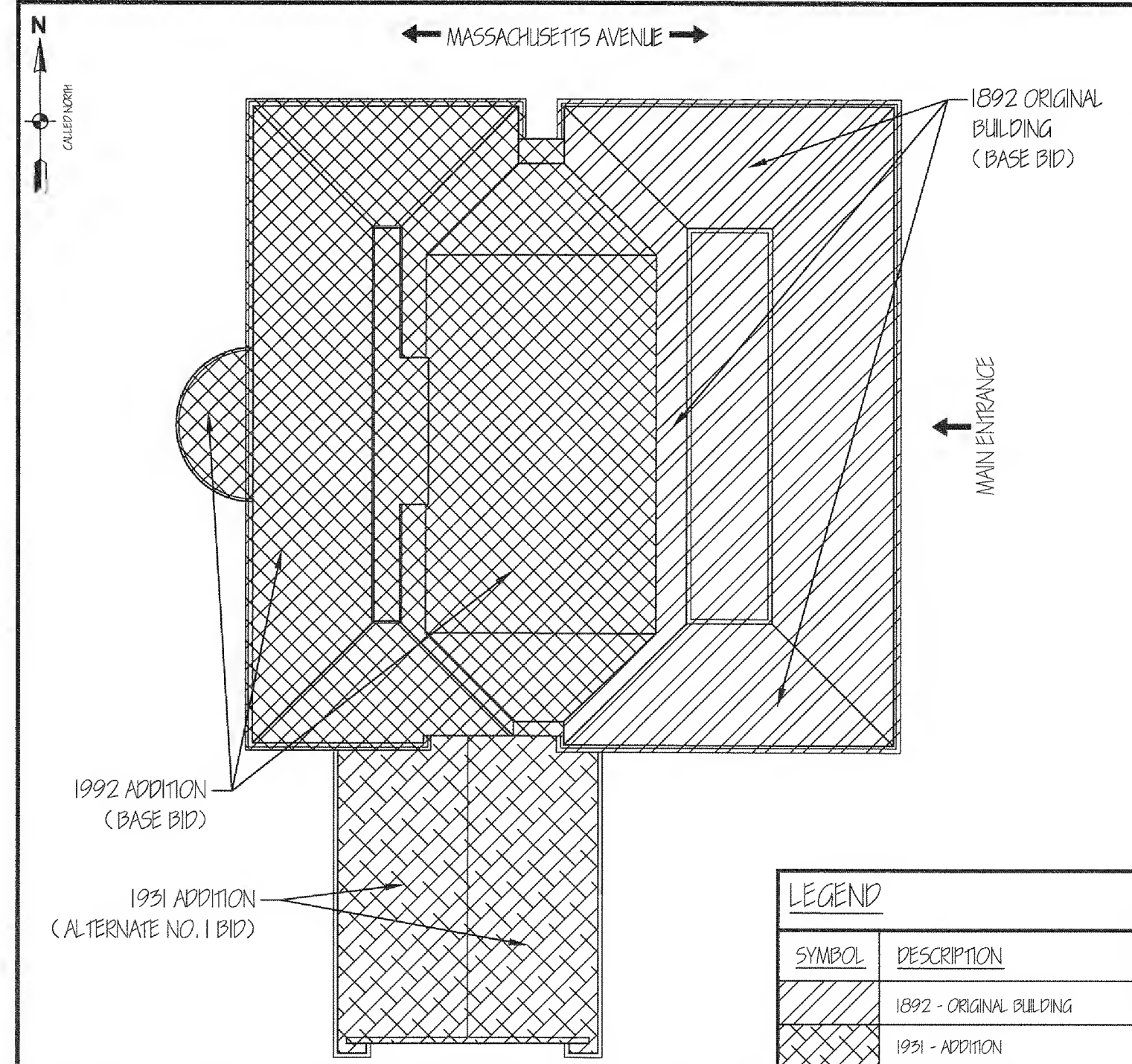
51 GRADE UNFADING GRAY/ GREEN SLATE ROOFING SHINGLES (1/4" THICK X 19" LONG X 9" WIDE, WITH 8" EXPOSURE & 3-1/2" HEADLAP)

SELF ADHERING ICE & WATER MEMBRANE AT LOWEST 6' OF ROOF SURFACE & WHERE DETAILED AND 100% 30 LB. FELT PAPER UNDERLAYMENT OVER THE REMAINDER OF THE ROOF SURFACE



TYPICAL CROSS SECTION DETAIL OF NEW SLATE ROOFING SYSTEM ON 1892 ORIGINAL BUILDING & 1931 ADDITION
N.T.S.

KEY PLAN - NOT TO SCALE



LEGEND	
SYMBOL	DESCRIPTION
	1892 - ORIGINAL BUILDING
	1931 - ADDITION
	1992 - ADDITION

GENERAL NOTES

1. BASE BID
WORK SHALL OCCUR AT THE 1892 ORIGINAL BUILDING & THE 1992 ADDITION AND INCLUDES: REMOVAL AND REPLACEMENT OF SLATE SHINGLE ROOFING, FLASHINGS, UNDERLAYMENT, SNOW RETENTION SYSTEMS, REPAIRS TO EXISTING GUTTERS AT THE 1892 ORIGINAL BUILDING AND REPLACEMENT OF MISSING OR DEFECTIVE SLATES AT THE 1992 ADDITION BUILDING AND PAINTING OF THE ROOF HATCHES.
2. ALTERNATE NO. 1 BID
WORK SHALL OCCUR AT THE 1931 ADDITION AND INCLUDES: REMOVAL AND REPLACEMENT OF SLATE SHINGLE ROOFING, FLASHINGS, UNDERLAYMENT, SNOW RETENTION SYSTEMS, REPAIRS TO EXISTING GUTTERS, REPAIRS TO THE BRICK MASONRY CHIMNEY, INSTALLATION OF RIGID INSULATION TO THE INTERIOR OF THE SOUTH GABLE WALL OF THE 1931 ADDITION AND REPAIRS TO EXISTING FIBERGLASS INSULATION.
3. CONTRACTOR SHALL BE RESPONSIBLE FOR FIELD VERIFYING ALL EXISTING CONDITIONS, MEASUREMENTS, DIMENSIONS, PENETRATIONS AND RELATED WORK ITEMS. NOTIFY ENGINEER IMMEDIATELY IF DISCREPANCIES IN DOCUMENTS ARE FOUND.
4. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND LICENSES, PAY ALL FEES, AND COMPLY WITH ALL REGULATIONS OF ALL AUTHORITIES HAVING JURISDICTION RELATING TO THE BUILDING OR PRESERVATION OF PUBLIC HEALTH AND SAFETY.
5. ALL WORK TO COMPLY WITH THE MASSACHUSETTS STATE BUILDING CODES, CURRENT EDITION AND OTHER PERTINENT LOCAL BUILDING REGULATIONS, CODES, MANUFACTURER'S REQUIREMENTS, AND INDUSTRY STANDARDS.
6. CONTRACTOR TO LEGALLY DISPOSE OF ALL MATERIALS OFF-SITE AND IN ACCORDANCE WITH LOCAL REGULATIONS. USE OF ON-SITE OWNER DUMPSTERS SHALL BE PROHIBITED. LOCATION OF THE CONTRACTOR'S DUMPSTER SHALL BE COORDINATED WITH THE OWNER'S REPRESENTATIVE.
7. ALL ROOFING WORK SHALL BE IN ACCORDANCE WITH THE PROJECT MANUAL AND DRAWINGS. IF APPLICABLE, THE WRITTEN REQUIREMENTS OF THE ROOFING SYSTEM MANUFACTURER SHALL ALSO BE ADHERED TO. CONTRACTOR IS RESPONSIBLE FOR NOTIFYING THE MANUFACTURER OF THE PROJECT, AND PERFORMING THE WORK ACCORDING TO THE REQUIREMENTS AS STIPULATED.
8. ACCESS TO THE INTERIOR OF THE BUILDINGS SHALL NOT BE ALLOWED WITHOUT PROPER NOTIFICATION.
9. CONTRACTORS SET-UP AND DISPOSAL AREAS SHALL NOT BLOCK FIRE LANES NOR INHIBIT ACCESS INTO OR OUT OF THE BUILDINGS. OVERHEAD PROTECTION SHALL BE PROVIDED AT ALL ACTIVE DOORWAYS LOCATED BELOW ACTIVE WORK AREAS.
10. THE CONTRACTOR SHALL BE RESPONSIBLE FOR LEAVING THE SITE IN A CLEAN AND UNOBSTRUCTED MANNER AT THE END OF EACH DAYS WORK.
11. AT THE COMPLETION OF THE WORK, THE CONTRACTOR SHALL PROVIDE TO THE OWNER ALL REQUIRED PROJECT CLOSE-OUT PAPERWORK INCLUDING THE SPECIFIED CONTRACTOR'S GUARANTEE AND ROOFING SYSTEM MANUFACTURER'S FULL SYSTEM WARRANTY.
12. CONTRACTOR SHALL REPLACE ALL REMOVED EXISTING ROOFING WITH NEW ROOFING ON A DAILY BASIS. TEMPORARY OR PHASED ROOFING IS NOT ALLOWED. CONTRACTOR SHALL BE RESPONSIBLE FOR THE INSTALLATION AND MAINTENANCE OF A DAILY "TE-N" BETWEEN EXISTING AND NEW ROOF AREAS SO AS TO MAINTAIN COMPLETE WATERIGHTNESS. CONTRACTOR SHALL COORDINATE ALL WORK WITH OTHER TRADES TO PREVENT EXPOSURE OF THE BUILDING TO INCLEMENT WEATHER AND LEAKS AT ALL TIMES.

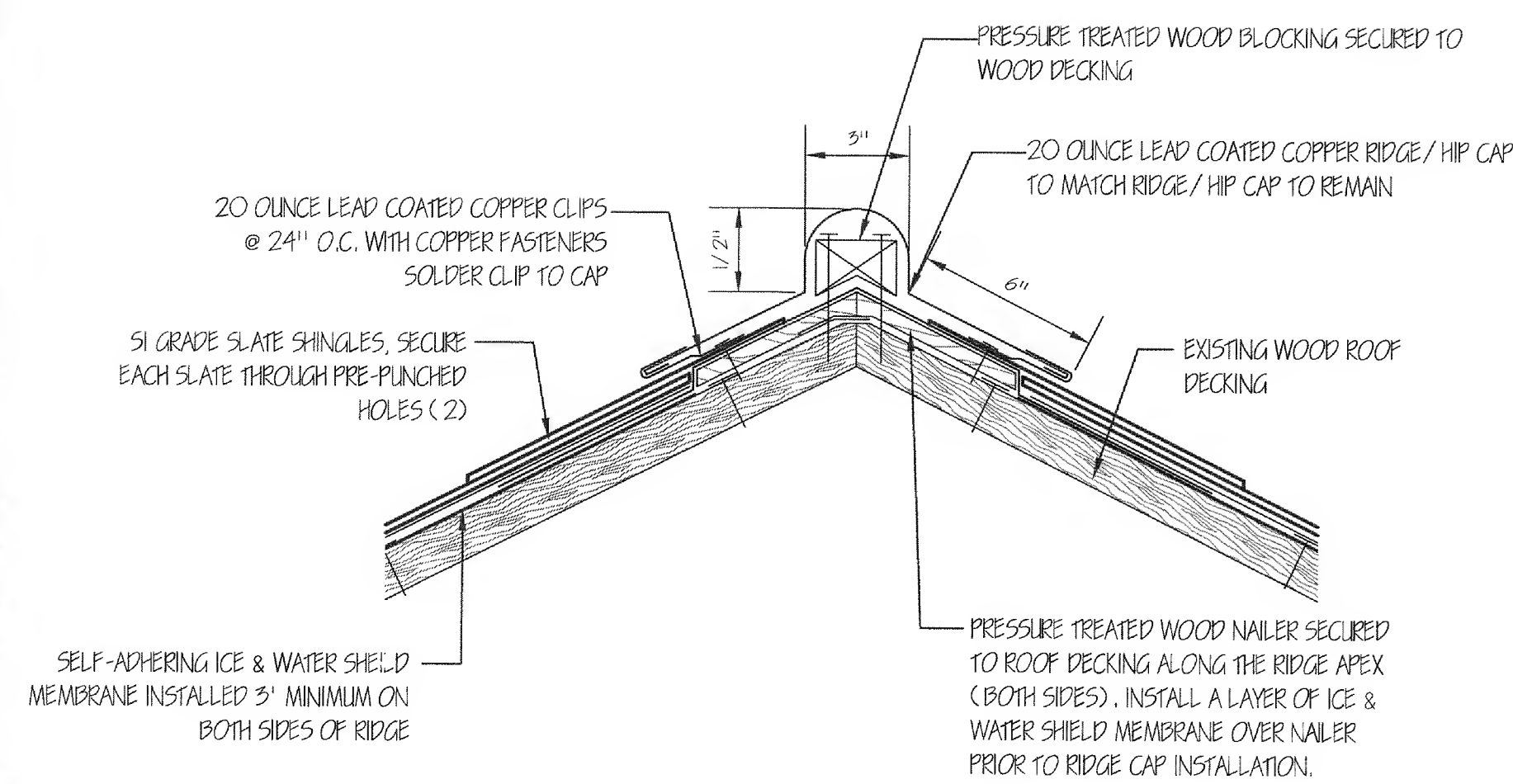
ROBBINS LIBRARY - BID NO. 13-06

700 MASSACHUSETTS AVENUE
ARLINGTON, MASSACHUSETTS
ROOF REPLACEMENT PROJECT
ROOF AREA PLAN

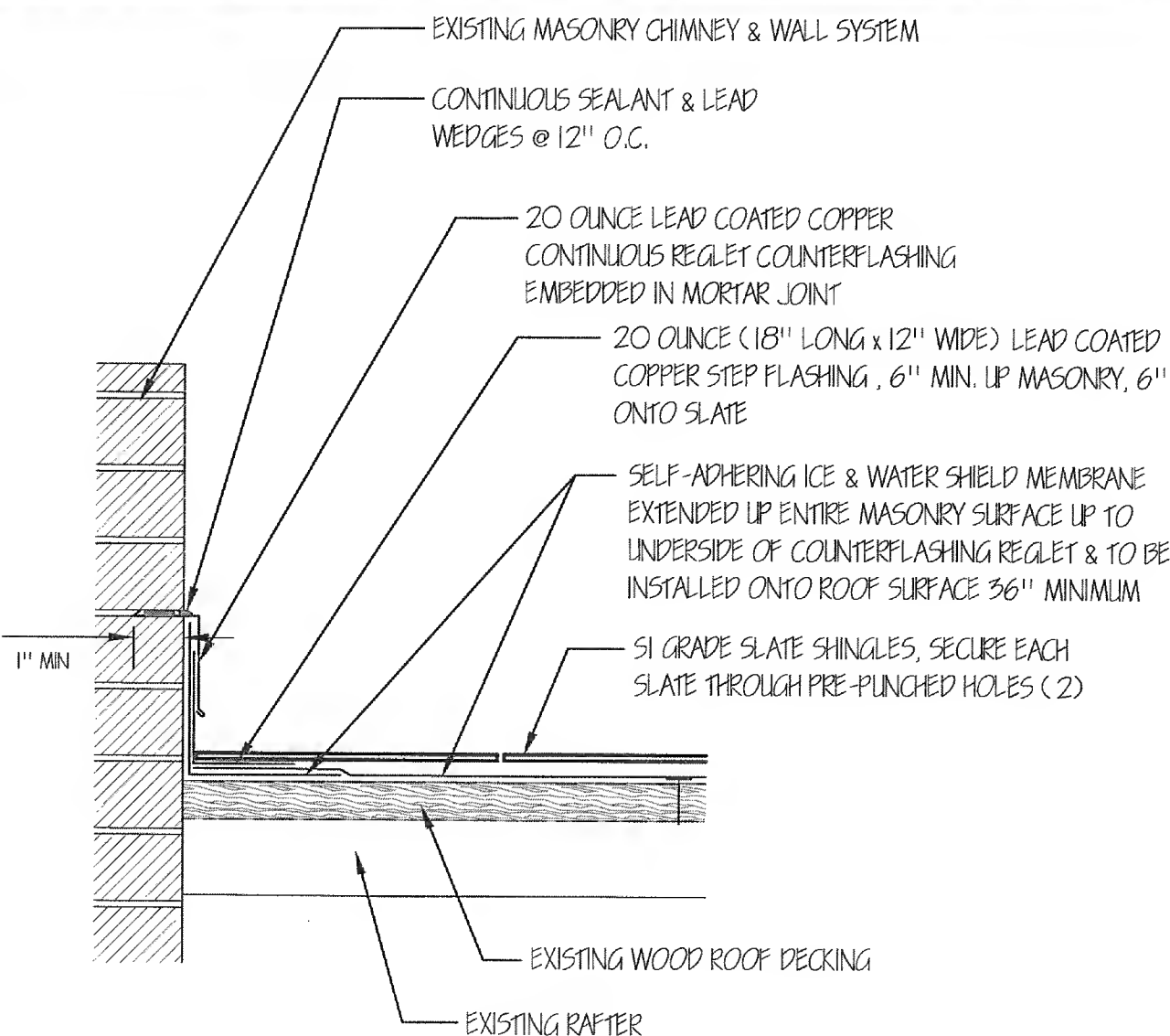
DATE	04.04.13
SCALE	AS NOTED
DRAWN BY / CHECKED BY	jrw/MJF
PROJECT NO	2013004.00
DRAWING NO	

R-1

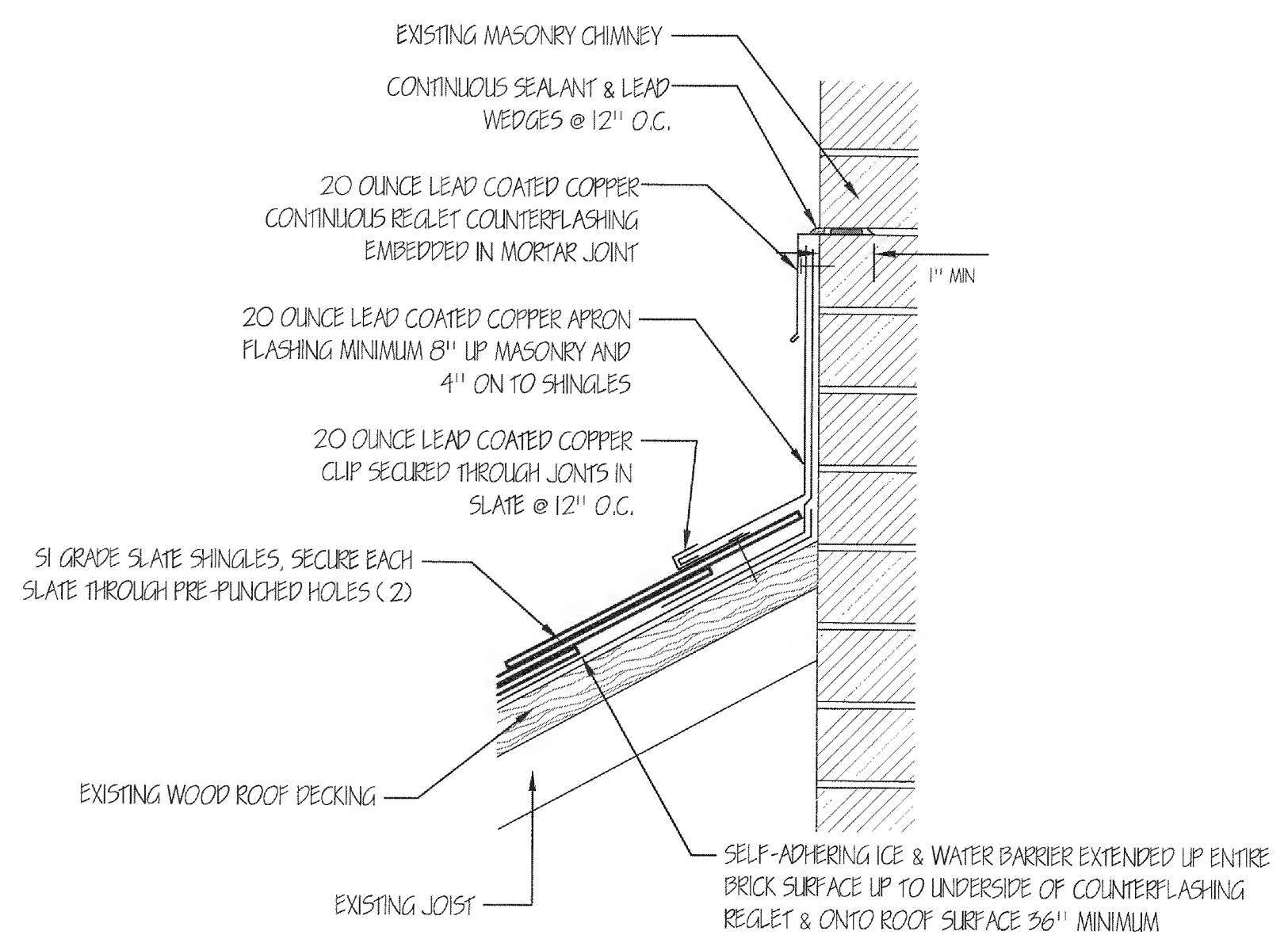
RUSSO BARR
ARCHITECTS
33 Center Street, 2nd Floor, Burlington, MA 01803



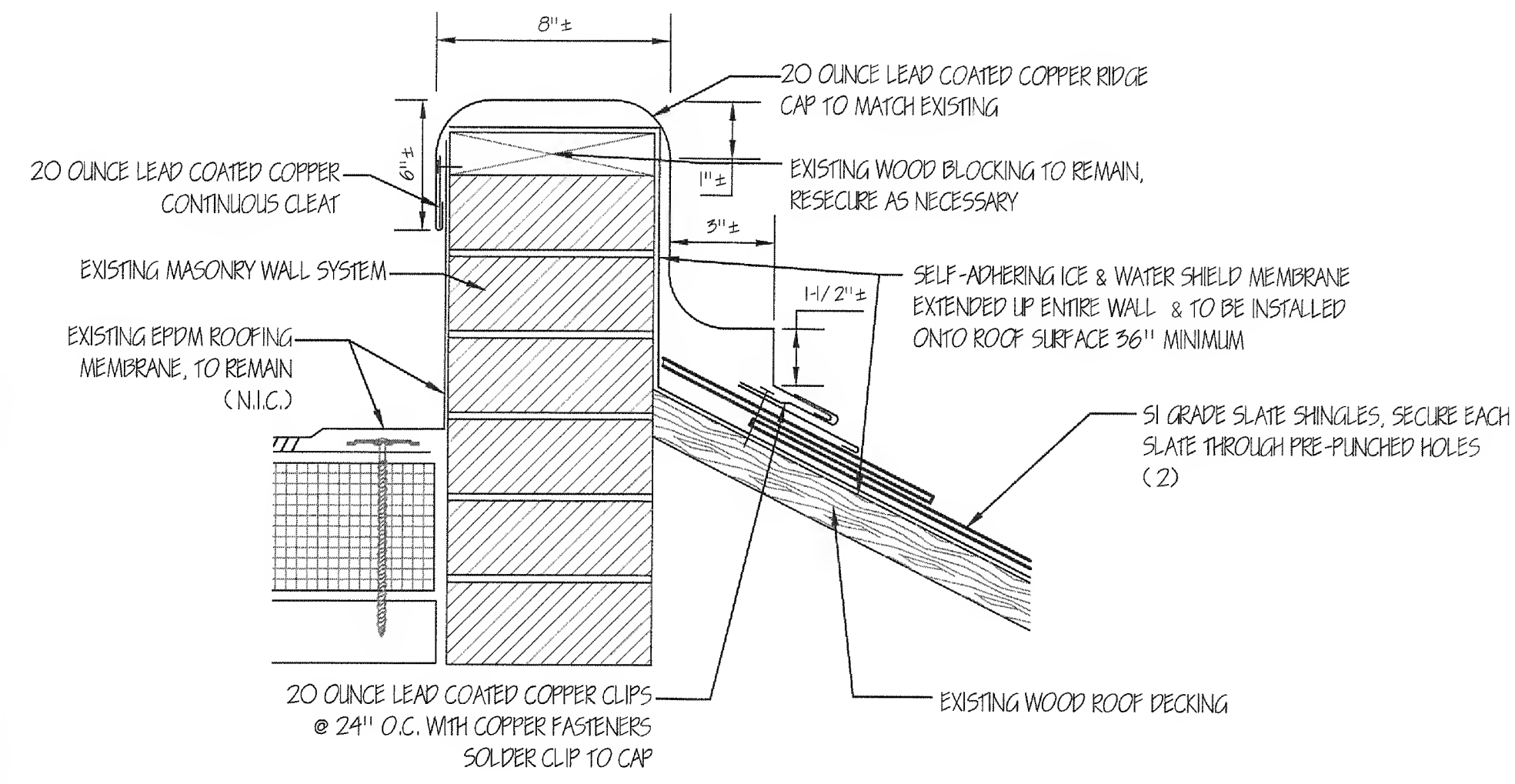
1 RIDGE / HIP FLASHING DETAIL
R-2 SCALE: N.T.S.



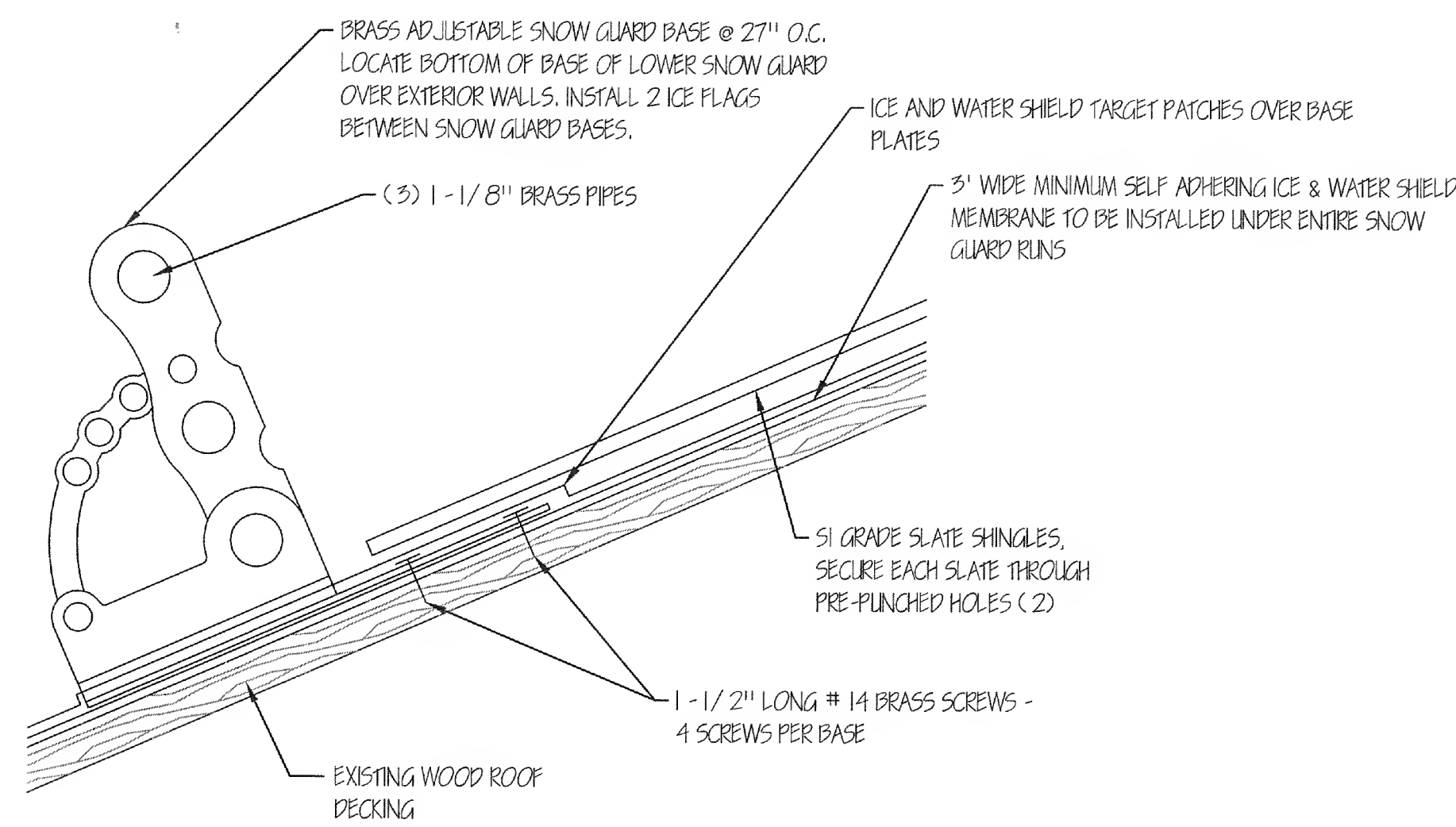
2 STEP FLASHING AT MASONRY WALL DETAIL
R-2 SCALE: N.T.S.



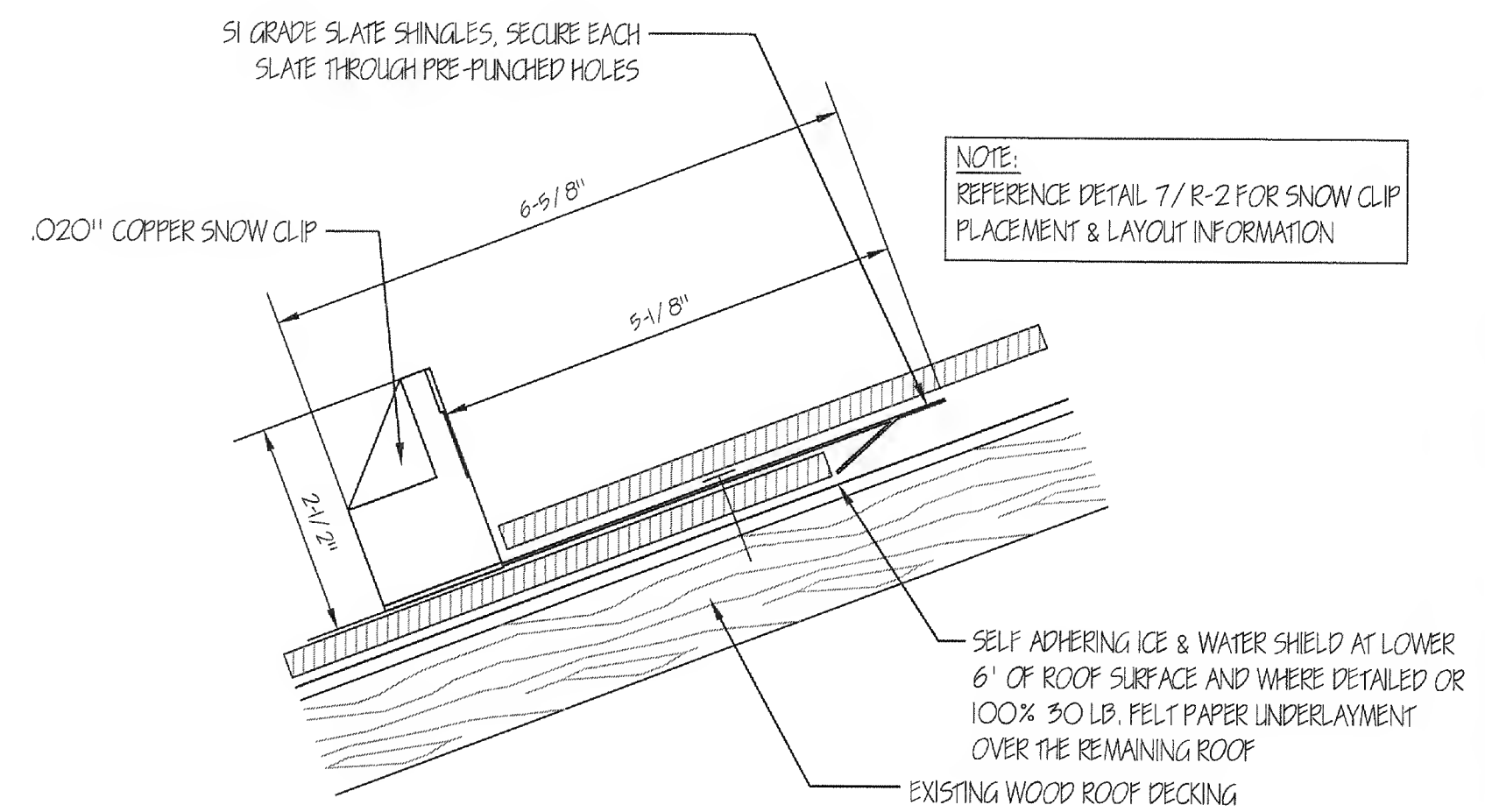
3 APRON FLASHING DETAIL
R-2 SCALE: N.T.S.



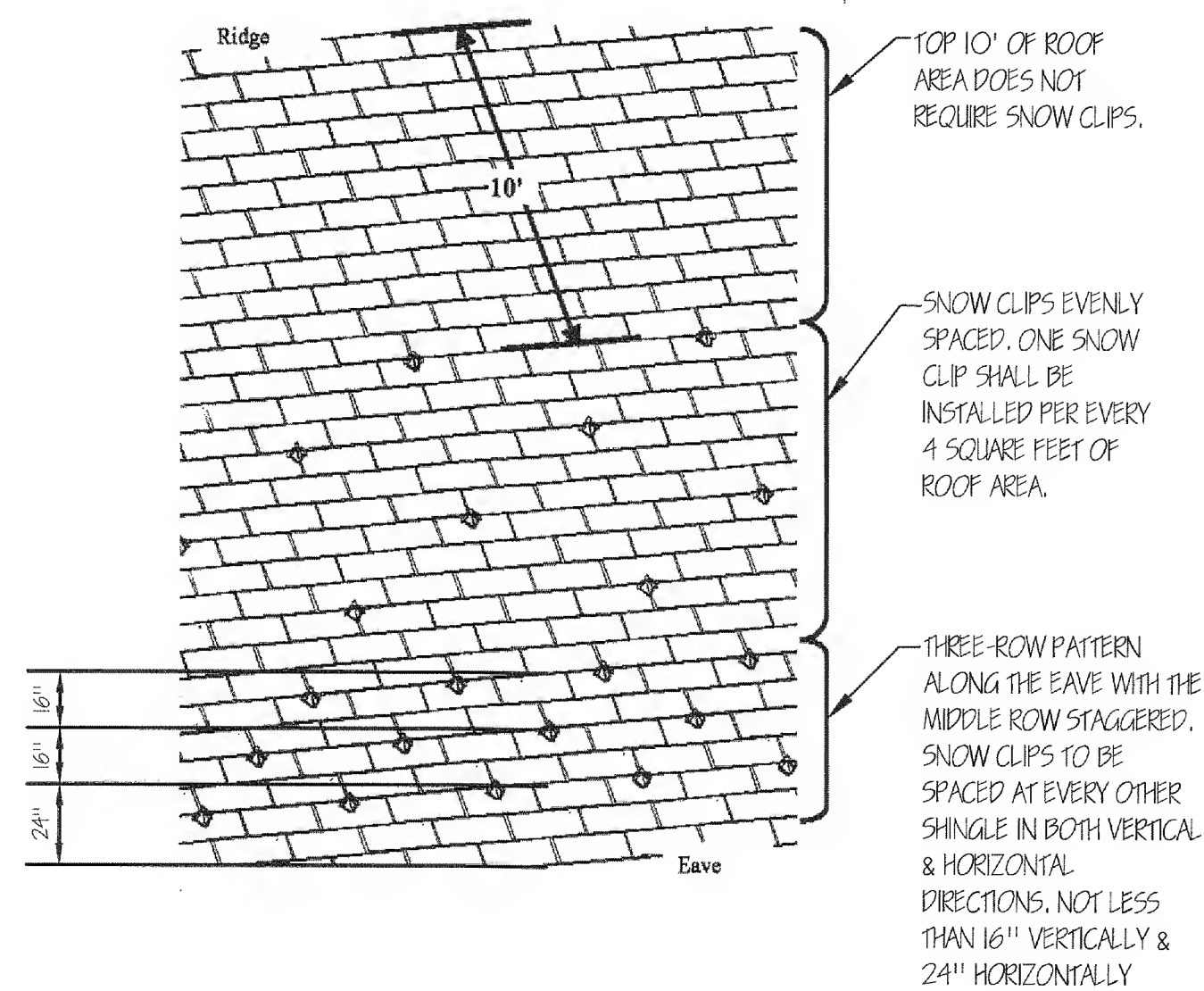
4 PARAPET WALL FLASHING DETAIL
R-2 SCALE: N.T.S.



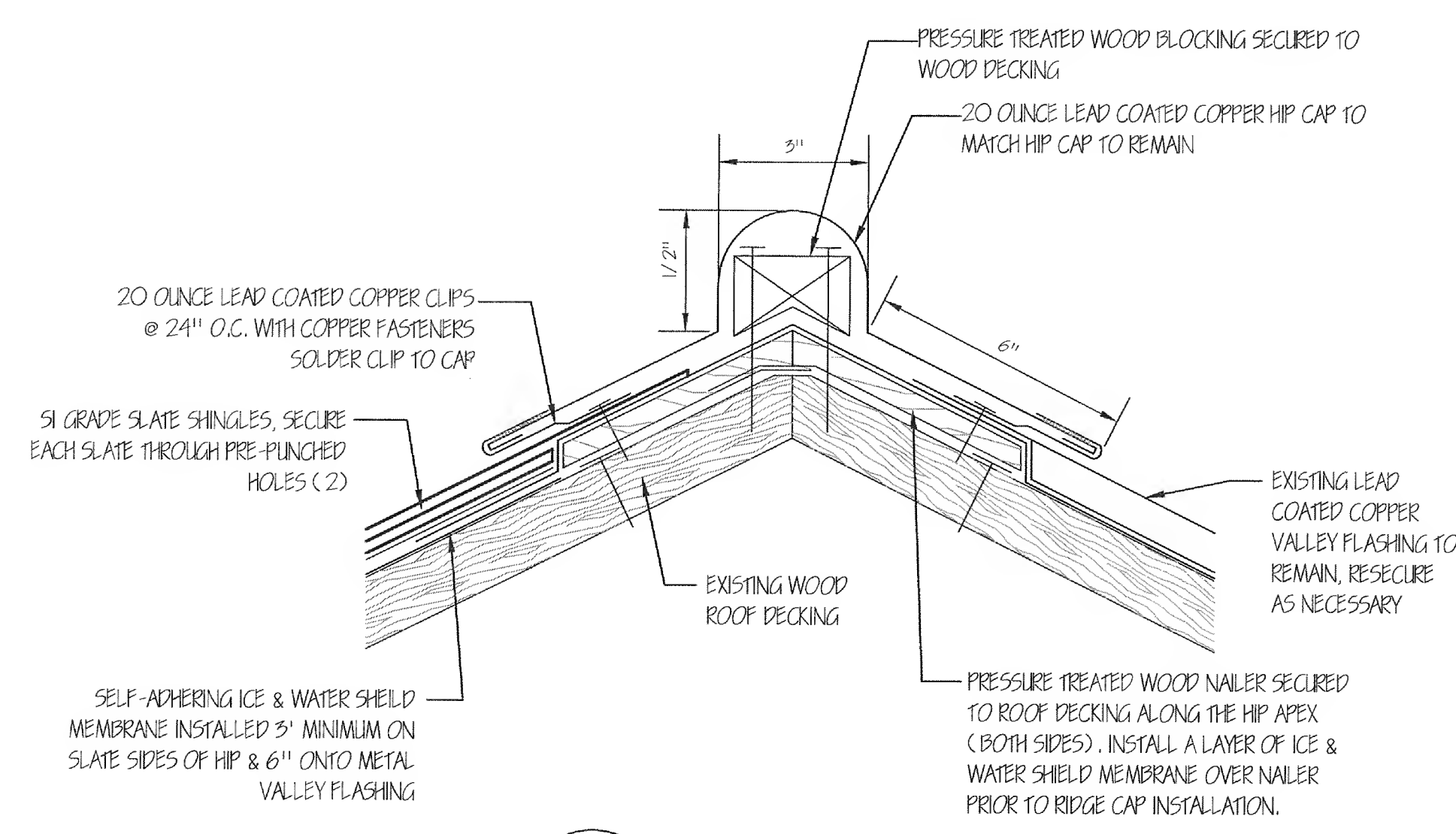
5 SNOW GUARD DETAIL
R-2 SCALE: N.T.S.



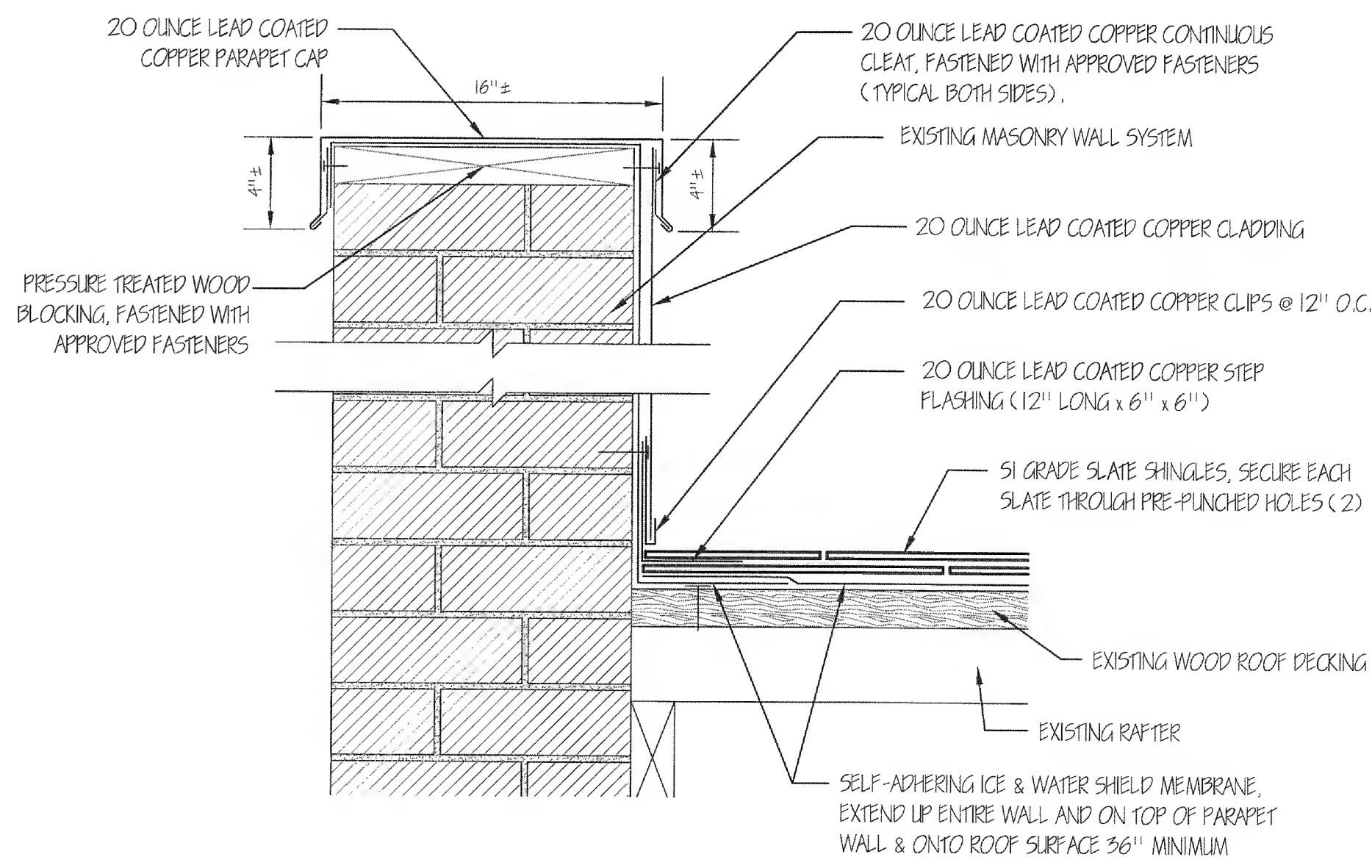
6 SNOW CLIP DETAIL
R-2 SCALE: N.T.S.



7 SNOW CLIP LAYOUT DETAIL
R-2 SCALE: N.T.S.



8 HIP FLASHING DETAIL
R-2 SCALE: N.T.S.

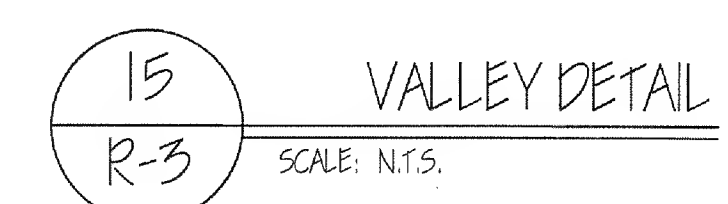
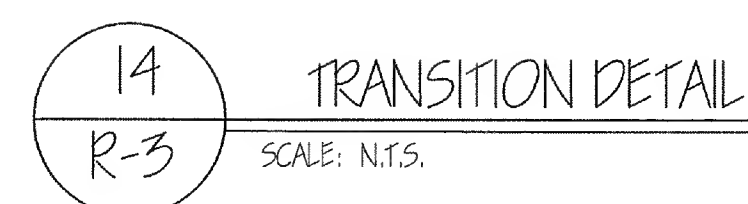
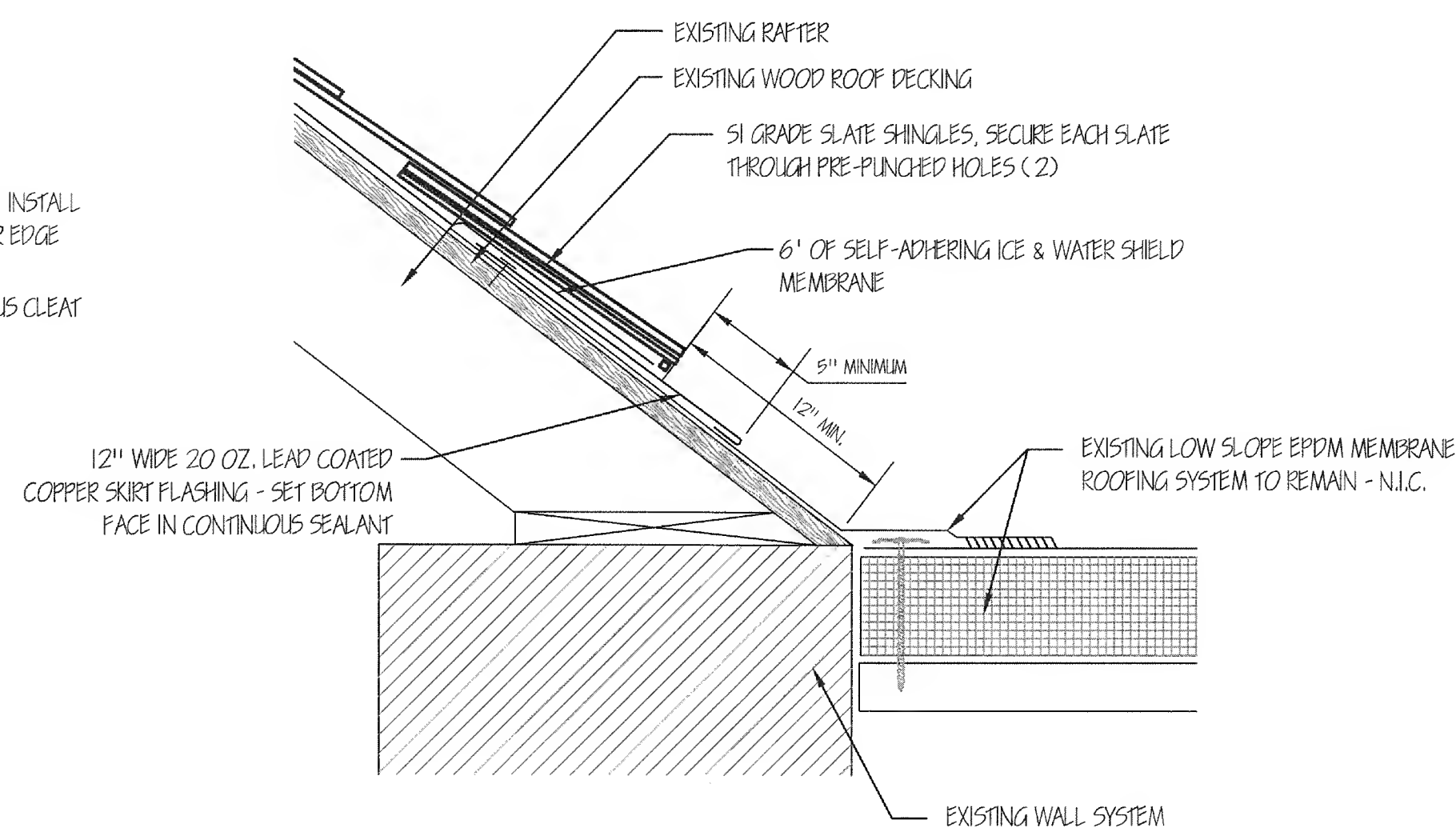
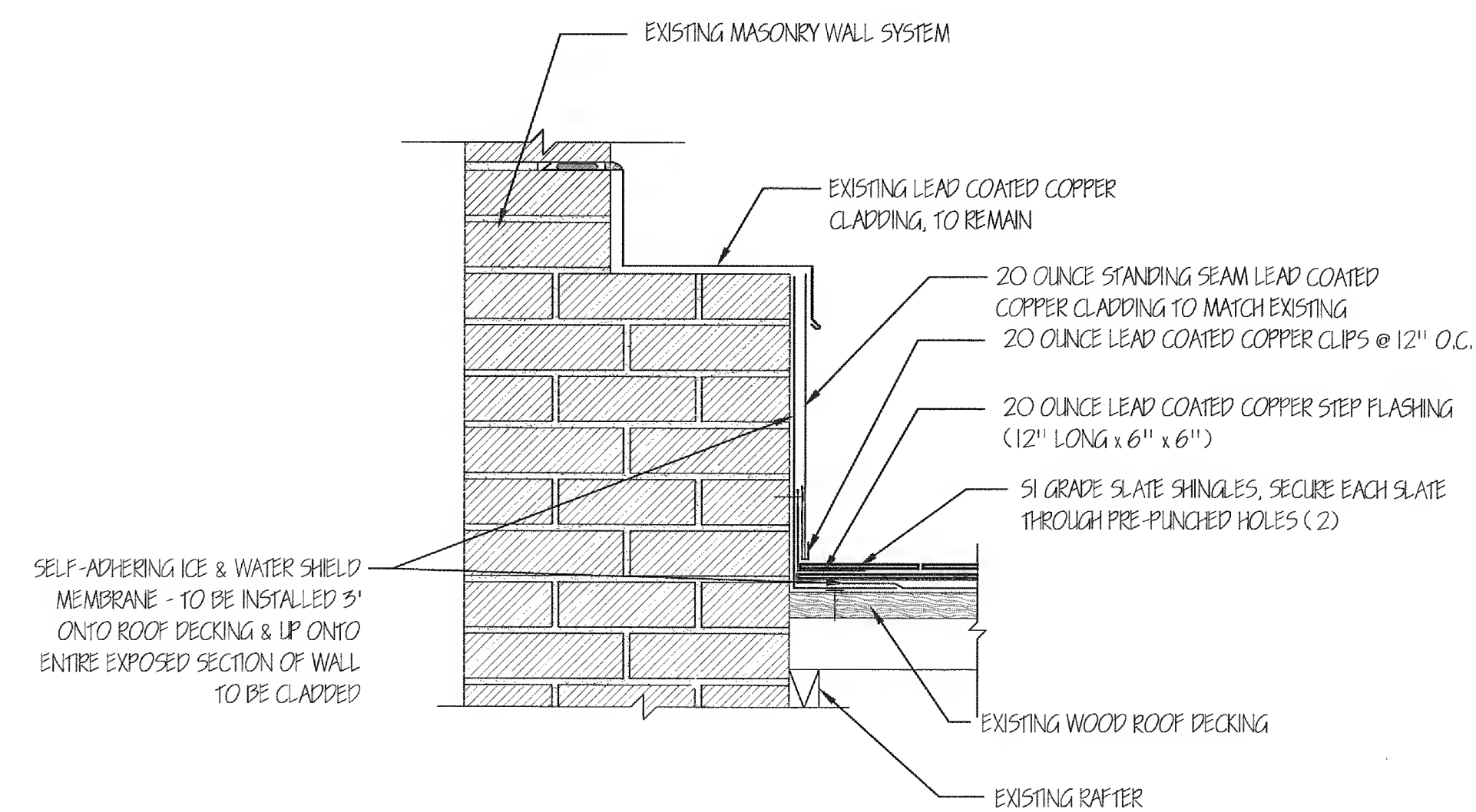


9 PARAPET WALL FLASHING DETAIL
R-2 SCALE: N.T.S.

RUSCO BARR ASSOCIATES
33 Center Street, 2nd Floor, Burlington, MA 01803

ROBBINS LIBRARY - BID NO. 13-06
700 MASSACHUSETTS AVENUE
ARLINGTON, MASSACHUSETTS
ROOF REPLACEMENT PROJECT
SLATE ROOFING DETAILS

DATE: 04.04.13
SCALE: AS NOTED
DRAWN BY / CHECKED BY: jrw/MJF
PROJECT NO: 2013004.00
DRAWING NO: R-2

[illegible]

RUSSO BARR
ASSOCIATES

33 Center Street, 2nd Floor, Burlington, MA 01803

ROBBINS LIBRARY - BID NO. 13-06
700 MASSACHUSETTS AVENUE
ARLINGTON, MASSACHUSETTS
ROOF REPLACEMENT PROJECT
SLATE ROOFING DETAILS

DATE	04.04.13
SCALE	AS NOTED
DRAWN BY / CHECKED BY	jrw/MJF
PROJECT NO	2013004.00
DRAWING NO	

R-3